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GENERAL NOTES:

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH ALL STATE AND LOCAL BUILDING CODES AND REQUIREMENTS.
2. ALL NEW CONSTRUCTION SHALL COMPLY WITH THE MASSACHUSETTS STATE BUILDING CODE 9TH EDITION CMR.
3. THE GENERAL CONTRACTOR SHALL REVIEW AND NOTIFY MARTIN DESIGNS OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
4. THE GENERAL CONTRACTOR SHALL LEAVE THE PROJECT SITE CLEAR AT ALL TIMES AND REMOVE ALL DEBRIS.
5. THE GENERAL CONTRACTOR SHALL DO ALL CUTTING, PATCHING, CHASING, AND REPAIRING REQUIRED TO PERFORM THE WORK.
6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WORK OF ALL TRADES.
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ALL MATERIALS AND EQUIPMENT AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS.
8. DIMENSIONS ARE TO CENTER LINES, TO FACE OF FINISHED SURFACE, OR EXISTING BUILDING GRID LINES.
9. THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS.
10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INSTALLATIONS, CONDITIONS, MATERIALS AND FINISHES WITH THE PROPOSED SCOPE OF WORK.
11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION.
12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING, PAYING, AND SCHEDULING INSPECTIONS AND PULLING PERMITS.
13. ALL PENETRATIONS SHALL BE SEALED TIGHT WITH UL-LISTED FIRESTOPPING.
14. ALL DATA OUTLETS MUST BE ON A DEDICATED, ISOLATED CIRCUIT.

FOUNDATION NOTES:

1. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH FLOOR PLANS PRIOR TO CONSTRUCTION AND NOTIFY MARTIN DESIGNS OF ANY DISCREPANCIES.
2. GENERAL CONTRACTOR TO PROVIDE WATERPROOFING AS REQUIRED TO MEET ALL APPLICABLE BUILDING CODES.
3. CONCRETE SLABS TO BE 4" (3000 psi MIN), REQUIRED AS PER CODE.
4. PROVIDE 6" CRUSHED STONES, VAPOR BARRIERS AT ALL CONCRETE SLABS.
5. GENERAL CONTRACTOR TO PROVIDE ADEQUATE DRAINAGE BASED ON EXISTING SITE CONDITIONS. GC TO VERIFY WITH LOCAL CODES.
6. ALL CONCRETE SHALL HAVE A 28 DAY DESIGN STRENGTH OF 3500 psi MIN.
7. ALL FOOTINGS TO REST ON UNDISTURBED SOIL AT A MIN DEPTH OF 4 FEET. SOIL BEARING CAPACITY ASSUMED TO BE 4000 psf.
8. MAXIMUM DISTANCE BETWEEN HOLD-DOWNS IS 6'-0".
9. MINIMUM BOLT DIAMETER IS 1/2" AND MUST EXTEND 7" INTO FOUNDATION.
10. USE 5/8" x 12" LONG GALVANIZED ANCHOR BOLTS. 3" WASHERS
11. ALL SILL PLATES SHALL BE PRESSURE TREATED.

FRAMING NOTES:

1. ALL FRAMING WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MASSACHUSETTS RESIDENTIAL BUILDING CODE 9TH EDITION CMR.
2. MARTIN DESIGNS MAKES NO CLAIMS TOWARDS EXISTING CONDITIONS.
3. ALL SILL PLATES, WALL BASE AT GARAGE, BASEMENT, DECK & PORCH FRAMING SHALL BE PRESSURE TREATED.
4. ALL FRAMING LUMBER, BEAMS, JOISTS, RAFTERS, HEADERS, PLATES AND SILL SHALL BE SPRUCE PINE FIR #2 OR BETTER.
5. ALL LVL BEAMS SHALL BE VERSALAM BY BOISE CASCADE 2.0.
6. ALL VERSALAM COLUMNS SHALL BE VERSA-LAM 1.8 BY BOISE CASCADE.
7. 4 FLY LVL BEAMS SHALL BE SCREWED TOGETHER WITH SDWS SIMPSON SCREWS.
8. ALL JOIST AND BEAM HANGERS SHALL BE SIMPSON.
9. ALL WALL SHEATHING SHALL BE 1/2" CDX PLYWOOD.
10. PLYWOOD SUBFLOORS SHALL BE TONGUE AND GROOVE, 3/4" THICK, A/C.
11. EXTERIOR HEADERS SHALL BE 3 PLY 2x8s SPF #2 MINIMUM. INTERIOR HEADERS SHALL BE 2 PLY 2x10s SPF #2 MINIMUM.
12. HEADERS AND BEAMS SHALL BE SUPPORTED BY TWO JACK STUD AND ONE KING STUD. FOR GARAGE HEADER FRAME. SEE PORTAL FRAME DETAIL.
13. ALL EXTERIOR WALLS AND INTERIOR LOAD BEARING WALLS SHALL BE 2x6 @ 16" O.C. WITH 2 ROWS OF HORIZONTAL BLOCKING AT 1/3" POINTS.
14. 3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER OF 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

ROOF NOTES:

1. 30 YEAR ASPHALT SHINGLES ON #30 BUILDING PAPER AT ALL NEW ROOF, BLEND TO EXISTING.
2. ALL ROOF SHEATHING SHALL BE 5/8" TONGUE AND GROOVE CDX PLYWOOD.
3. 3'-0" WIDE ICE & WATER SHIELD AT ALL ROOF/WALL JUNCTIONS.
4. GENERAL CONTRACTOR TO PROVIDE FLASHING PER MANUFACTURER'S INSTALLATION REQUIREMENTS AT ALL ROOF/WALL JUNCTIONS.
5. CONTINUOUS ROOF VENT TYPICAL.
6. ALUMINUM DRIP EDGE.
7. ALUMINUM GUTTERS & DOWNSPOUTS.
8. 1x8 FASCIA & SOFFIT WITH 2" CONTINUOUS VENT. 2x SUB-FASCIA. 1X2 TRIM
9. USE SIMPSON HURRICANE CLIPS AS REQUIRED BY MASSACHUSETTS STATE BUILDING CODE.
10. GENERAL CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.
11. ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN AND/OR SNOW.
12. VENTILATION OPENINGS SHALL HAVE A LEAST DIMENSION OF 1/16 INCH MINIMUM AND 1/4 INCH SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF 1/16 INCH MINIMUM AND 1/4 INCH MAXIMUM.
13. WOOD ROOF TRUSSES SHALL BE METAL PLATE CONNECTED TO WOOD CHORDS AND WOOD WEBS. TRUSS LAYOUT IS FOR REPRESENTATION PURPOSES ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE COMPLETE DESIGN OF ALL TRUSSES AND PROVIDE STAMPED TRUSS PROFILES TO CUSTOMER.



DISCLAIMER:

1. CONTRACTOR SHALL REVIEW PLANS AND REPORT ANY DISCREPANCIES.
2. CONTRACTOR TO PROVIDE EMERGENCY ACCESS TO THE BUILDING TWO MEANS OF EGRESS AT ALL TIMES DURING CONSTRUCTION AND DEMOLITION.
3. CONTRACTOR SHALL REVIEW AND VERIFY ALL FIELD DIMENSIONS AND REPORT ANY DIMENSION CHANGE TO MARTIN DESIGNS PRIOR TO COMMENCING WORK.
4. ANY DEVIATION FROM THESE DRAWING SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
5. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL THIRD PARTY SUB-CONTRACTORS.
6. MARTIN DESIGNS IS NOT RESPONSIBLE FOR SURVEY/PLOT PLANS, PLUMBING PLAN, AND ELECTRICAL PLANS. THESE ARE SEPARATE WORK TO BE HIRED/ PROVIDED BY GENERAL CONTRACTOR.
7. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL INJURIES OR DAMAGES RESULTING FROM THIS WORK.

INSULATION NOTES:

1. ALL INSULATION WILL BE IN ACCORDANCE WITH THE HERS REPORT TO BE FILED WITH THE BUILDING PERMIT.
2. EXTERIOR WALLS SHALL HAVE R-21 BATT INSULATION WITH VAPOR BARRIER.
3. BASEMENT AND CEILING SHALL HAVE R-38 BATT INSULATION WITH VAPOR BARRIER.
4. ALL CEILING CAVITIES SHALL HAVE R-38 BATT INSULATION WITH VAPOR BARRIER.
5. ROOF SHALL HAVE R-49 BATT INSULATION WITH VAPOR BARRIER.
6. FOUNDATION AND SLABS SHALL BE PER ENERGY RATES DESIGN.

WINDOWS, DOORS, SKYLIGHTS:

1. ALL WINDOWS, DOORS & SKYLIGHTS SHALL BE ENERGY STAR RATED.
2. ALL WINDOWS, DOORS & SKYLIGHTS SHALL COMPLY WITH STATE & LOCAL REQUIREMENTS.
3. GENERAL CONTRACTOR TO ENSURE THAT WINDOWS MEET THE CORRECT ZONE.
4. ALL WINDOWS SHALL MEET THE IRC 2015 EGRESS WINDOW REQUIREMENTS.

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DESIGN CRITERIA:

- 40 PSF LIVING AREA LIVE LOADS
- 30 PSF SLEEPING AREA LIVE LOADS
- 20 PSF UNINHABITABLE ATTIC LIVE LOADS
- 15 PSF DEAD LOADS / 20 PSF ROOF TRUSS DL
- 30 PSF ROOF SNOW LOADS
- 60 PSF BALCONIES AND DECKS LIVE LOADS

WIND SPEED: Vult: 140 mph. EXPOSURE B.
FROST WALL DEPTH: 4'-0"

DRAWING INDEX:

- C1 COVER PAGE
- A1 EXG. ELEVATIONS
- A2 EXG. FLOOR PLANS
- A3 PROP. ELEVATIONS
- A-4 PROP. FLOOR PLANS
- A-5 FRAMING PLANS + SECTIONS



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COVER PAGE

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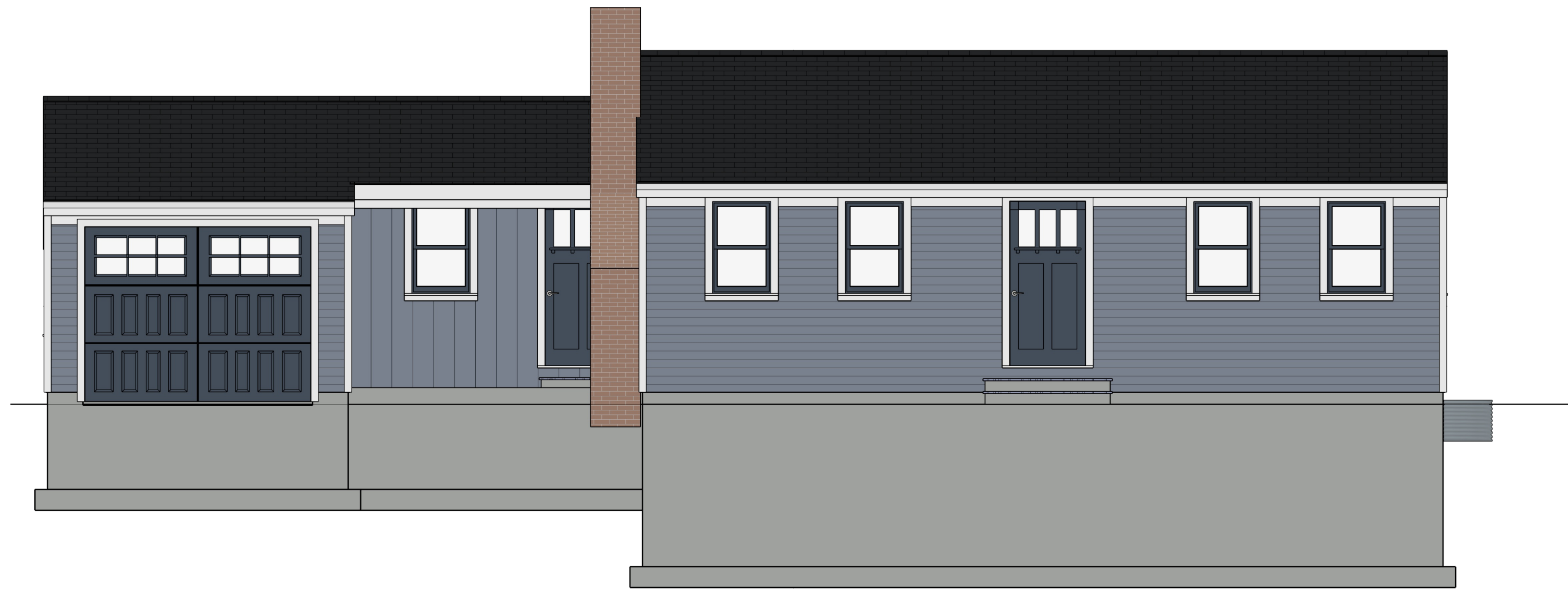
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SCALE:
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SHEET:
C-1

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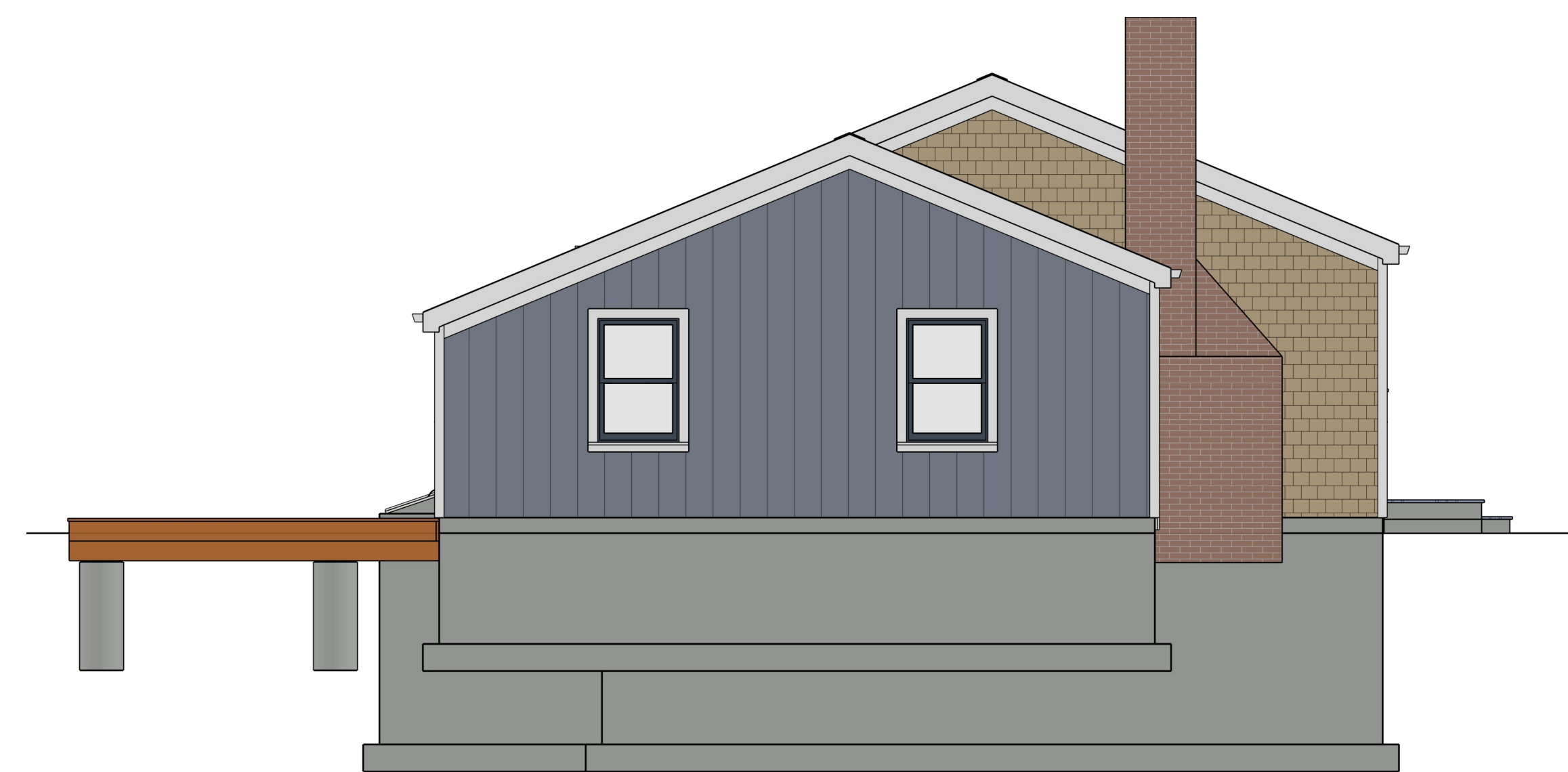
Exterior Elevation Front



Exterior Elevation Right



Exterior Elevation Back



Exterior Elevation Left



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EXISTING
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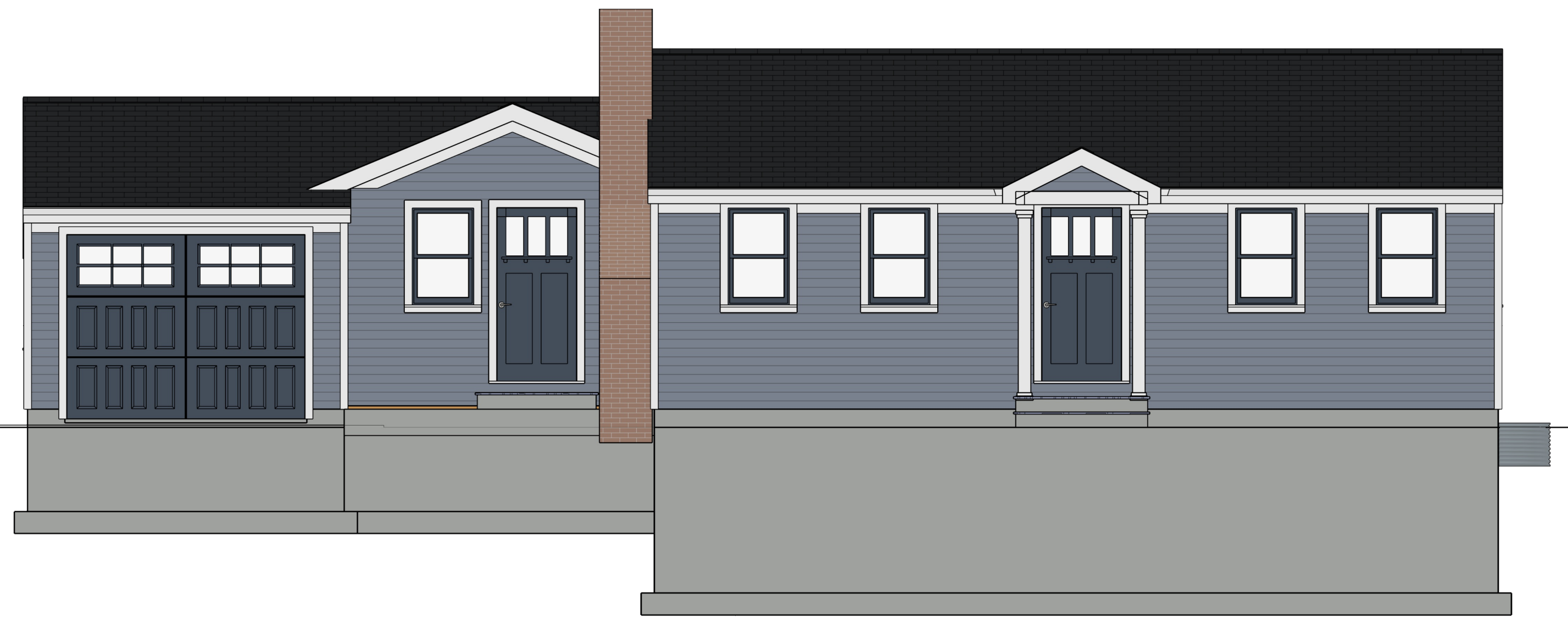
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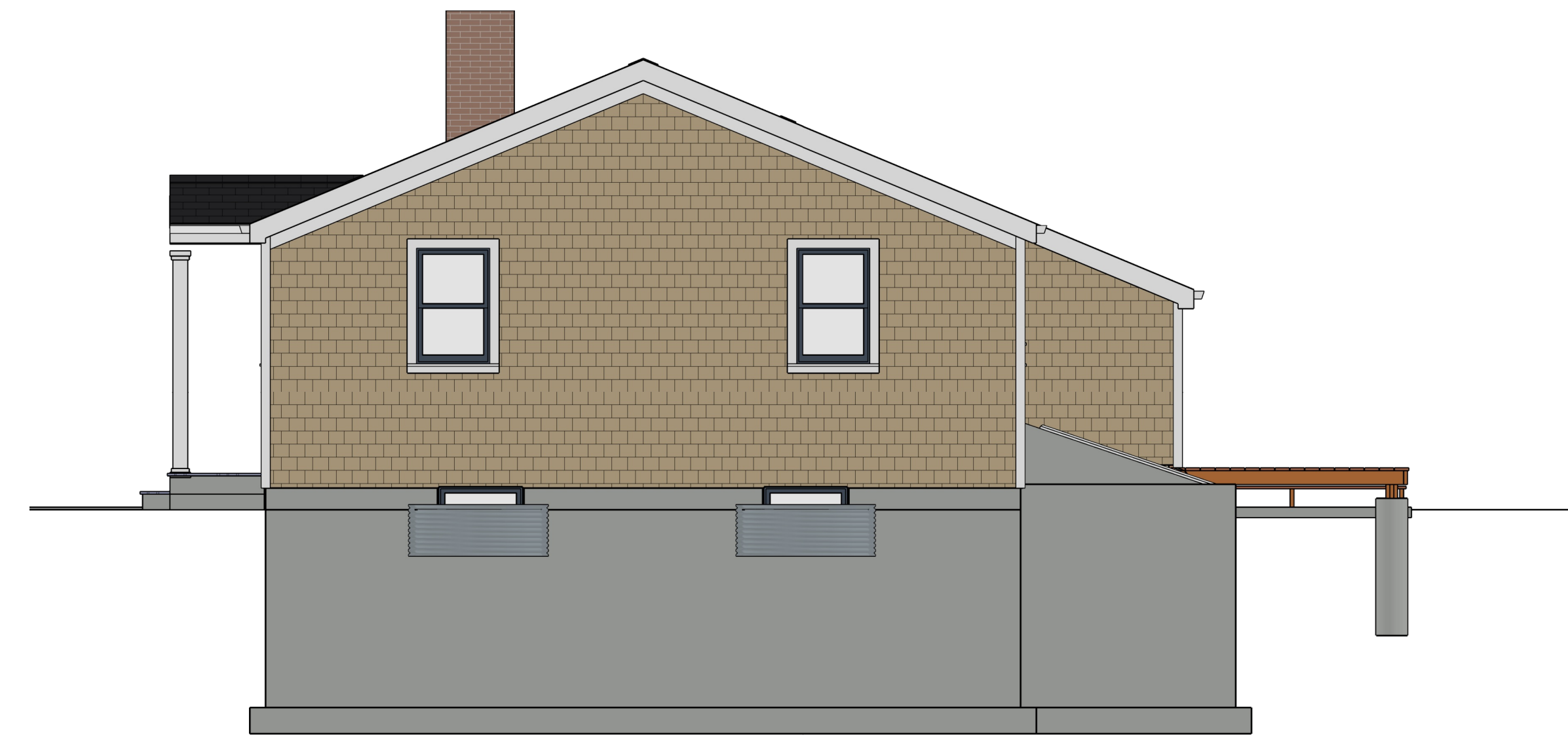
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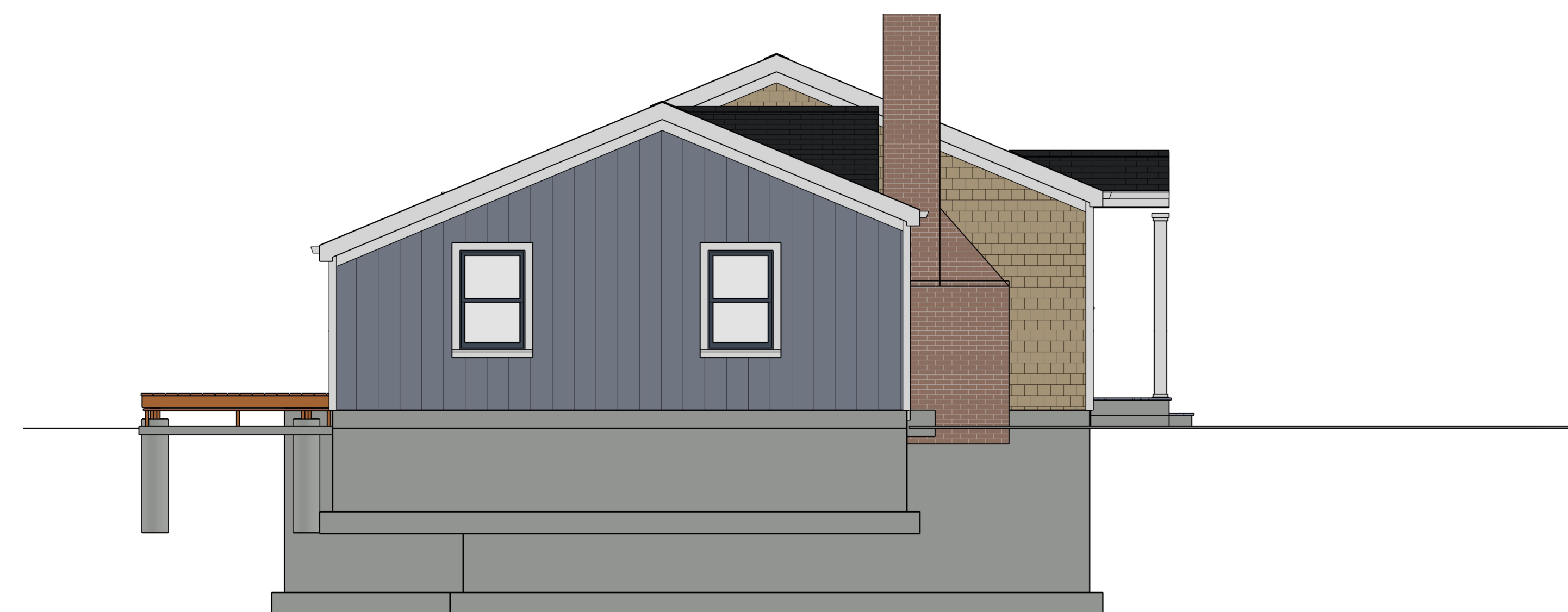
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PROPOSED
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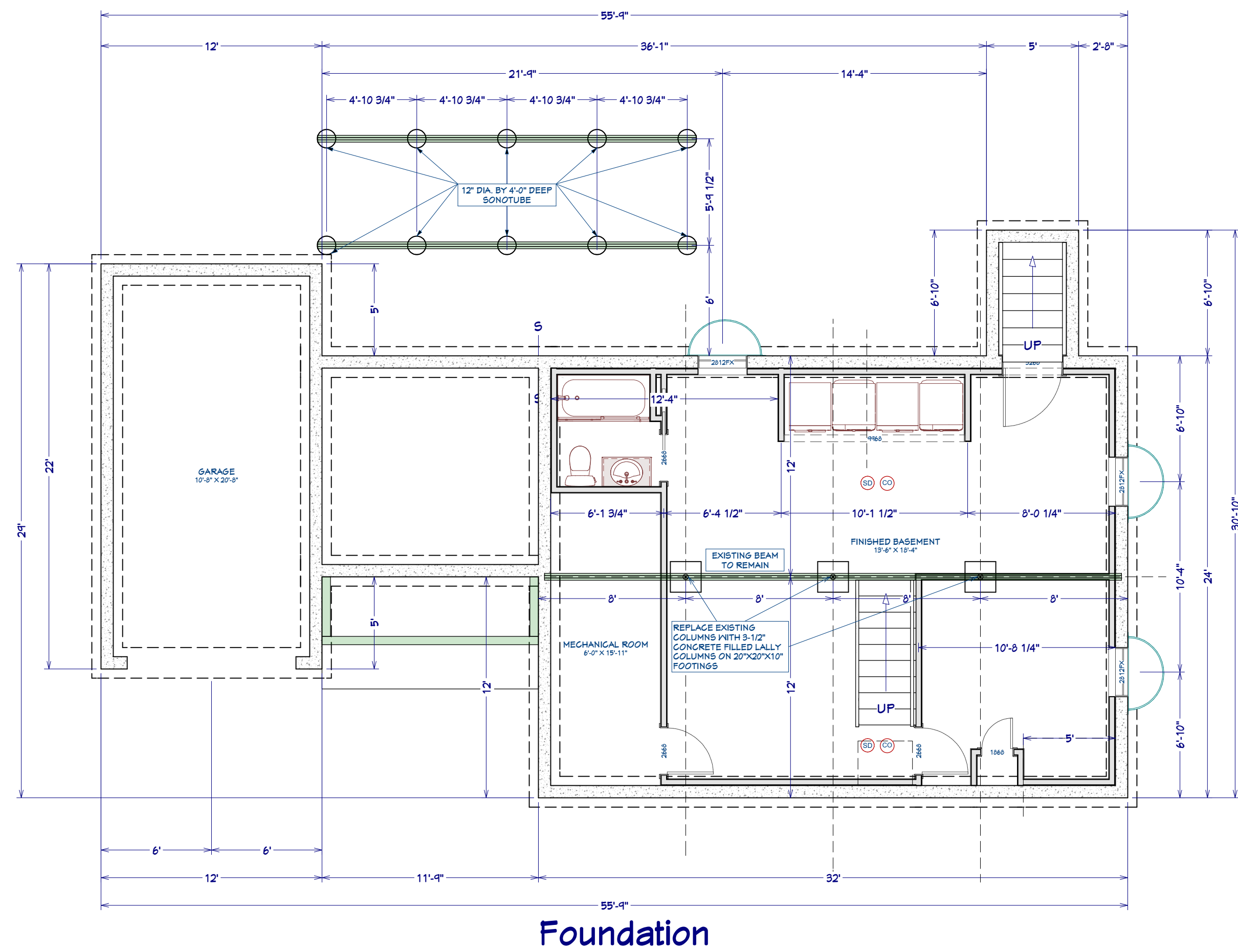
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Foundation

SMOKE DETECTORS & CARBON MONOXIDE DETECTORS:
SMOKE DETECTORS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: IN THE IMMEDIATE VICINITY OF BEDROOMS, ALL BEDROOMS ON EACH FLOOR INCLUDING BASEMENTS AND ATTICS.

PHOTOELECTRIC SMOKE DETECTORS:
ANY SMOKE DETECTOR LOCATED WITHIN 20 FEET OF A KITCHEN OR WITHIN 20 FEET OF A BATHROOM CONTAINING A TUB OR A SHOWER SHALL BE PHOTOELECTRIC TYPE SMOKE DETECTORS.

- SD SMOKE DETECTOR
- CO CARBON MONOXIDE DETECTOR
- HD HEAT DETECTOR

NOTES:

- ALL SMOKE DETECTORS SHALL BE PHOTOELECTRIC.
- ALL CARBON MONOXIDE DETECTORS SHALL BE KIDDE PID210.
- ALL HEAT DETECTORS SHALL BE KIDDE FIREX HARDWIRED INTER-CONNECTABLE.

FOUNDATION NOTES:

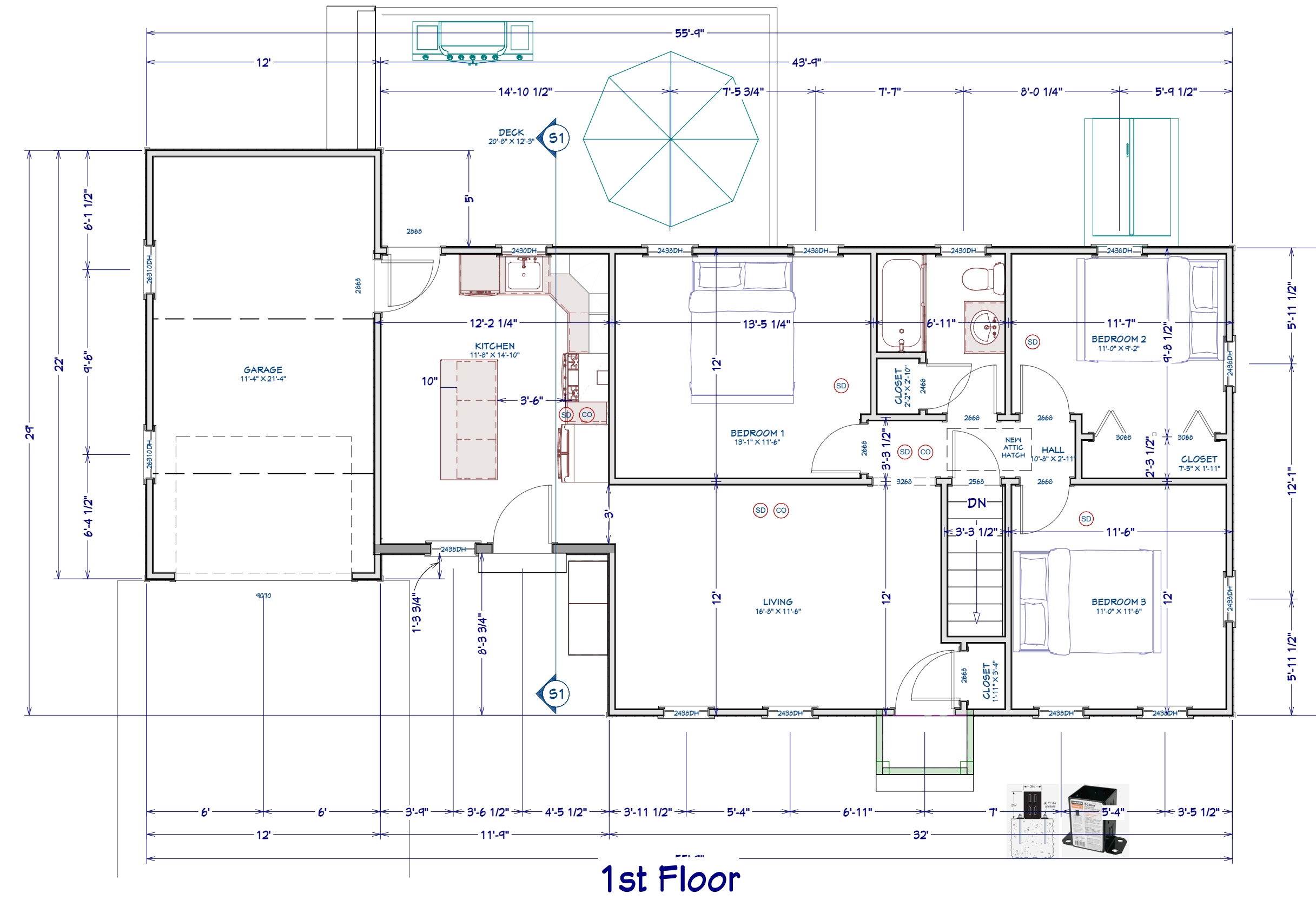
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- 3 CONCRETE SLABS TO BE 4" (4000 psi MIN), w/ FIBER AND BOLTS AT 24" O.C. AS REQUIRED PER WFCM.
- 4 PROVIDE 4" CRUSHED STONES, VAPOR BARRIERS AT ALL CONCRETE SLABS.
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- 9 MINIMUM BOLT DIAMETER IS 1/2" AND MUST EXTEND 7" INTO FOUNDATION.
- 10 USE 5/8" x 12" GALVANIZED ANCHOR BOLTS. 3" WASHERS.
- 11 ALL SILL PLATES SHALL BE PRESSURE TREATED.
- 12 2-#5 BARS INTO FOOTINGS. 1-#5 TOP OF WALL. #5 GRID BARS ON ALL FOOTINGS.

GENERAL NOTES:

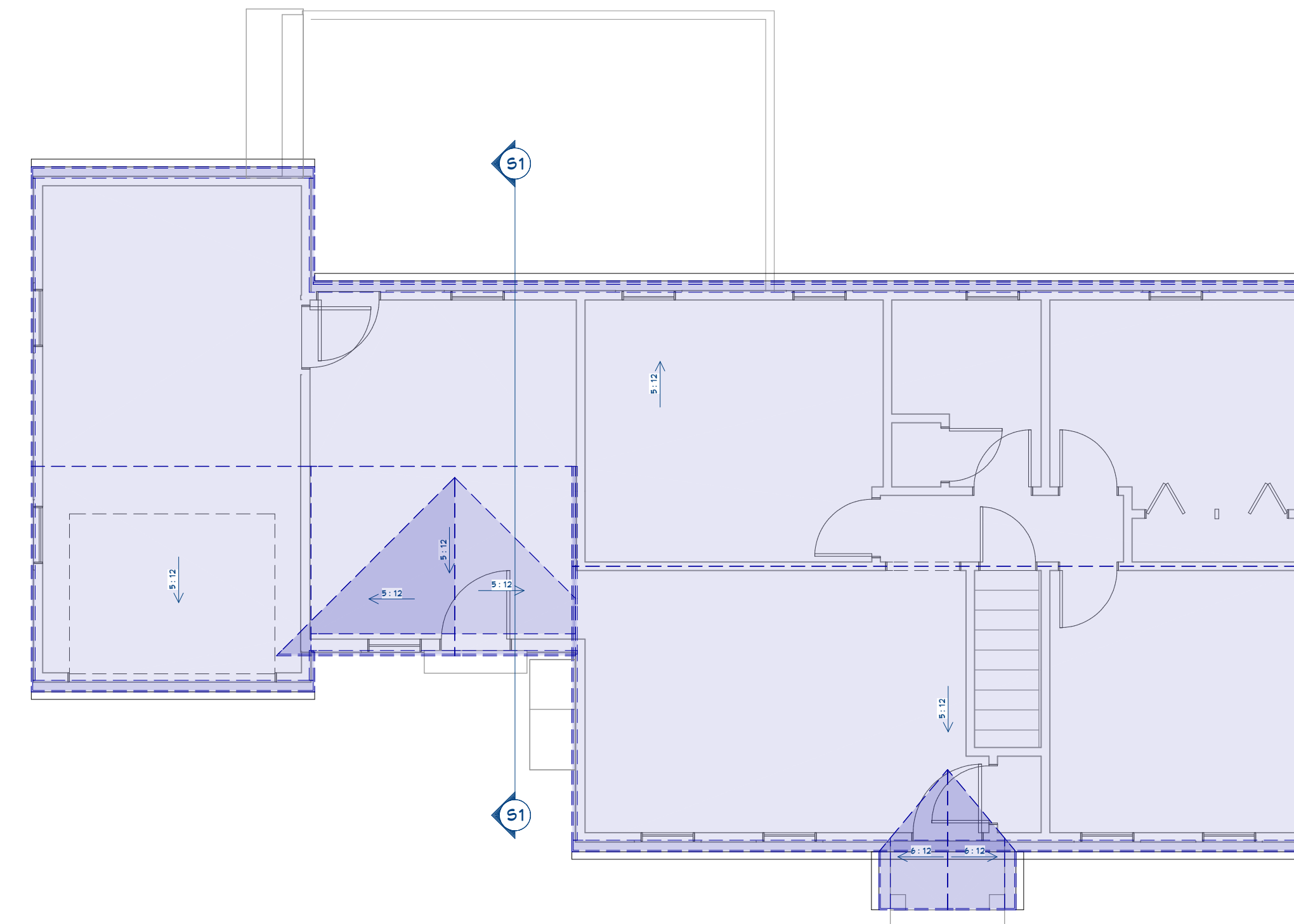
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ROOF NOTES:

1. 30 YEAR ASPHALT SHINGLES ON #30 BUILDING PAPER AT ALL NEW ROOF, BLEND TO EXISTING.
2. ALL ROOF SHEATHING SHALL BE 5/8" TONGUE AND GROOVE CDX PLYWOOD.
3. 3'-0" WIDE ICE & WATER SHIELD AT ALL ROOF/WALL JUNCTIONS.
4. GENERAL CONTRACTOR TO PROVIDE FLASHING PER MANUFACTURER'S INSTALLATION REQUIREMENTS AT ALL ROOF/WALL JUNCTIONS.
5. CONTINUOUS ROOF VENT TYPICAL.
6. ALUMINUM DRIP EDGE.
7. ALUMINUM GUTTERS & DOWNSPOUTS.
8. 1x8 FASCIA & SOFFIT WITH 2" CONTINUOUS VENT. 2x SUB-FASCIA. 1X2 TRIM
9. USE SIMPSON HURRICANE CLIPS AS REQUIRED BY MASSACHUSETTS STATE BUILDING CODE.
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12. VENTILATION OPENINGS SHALL HAVE A LEAST DIMENSION OF 1/16 INCH MINIMUM AND 1/4 INCH SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF 1/16 INCH MINIMUM AND 1/4 INCH MAXIMUM.
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1st Floor



Roof Plan View



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PROPOSED FLOOR PLANS

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SCALE:
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A-4

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FRAMING AND SECTION

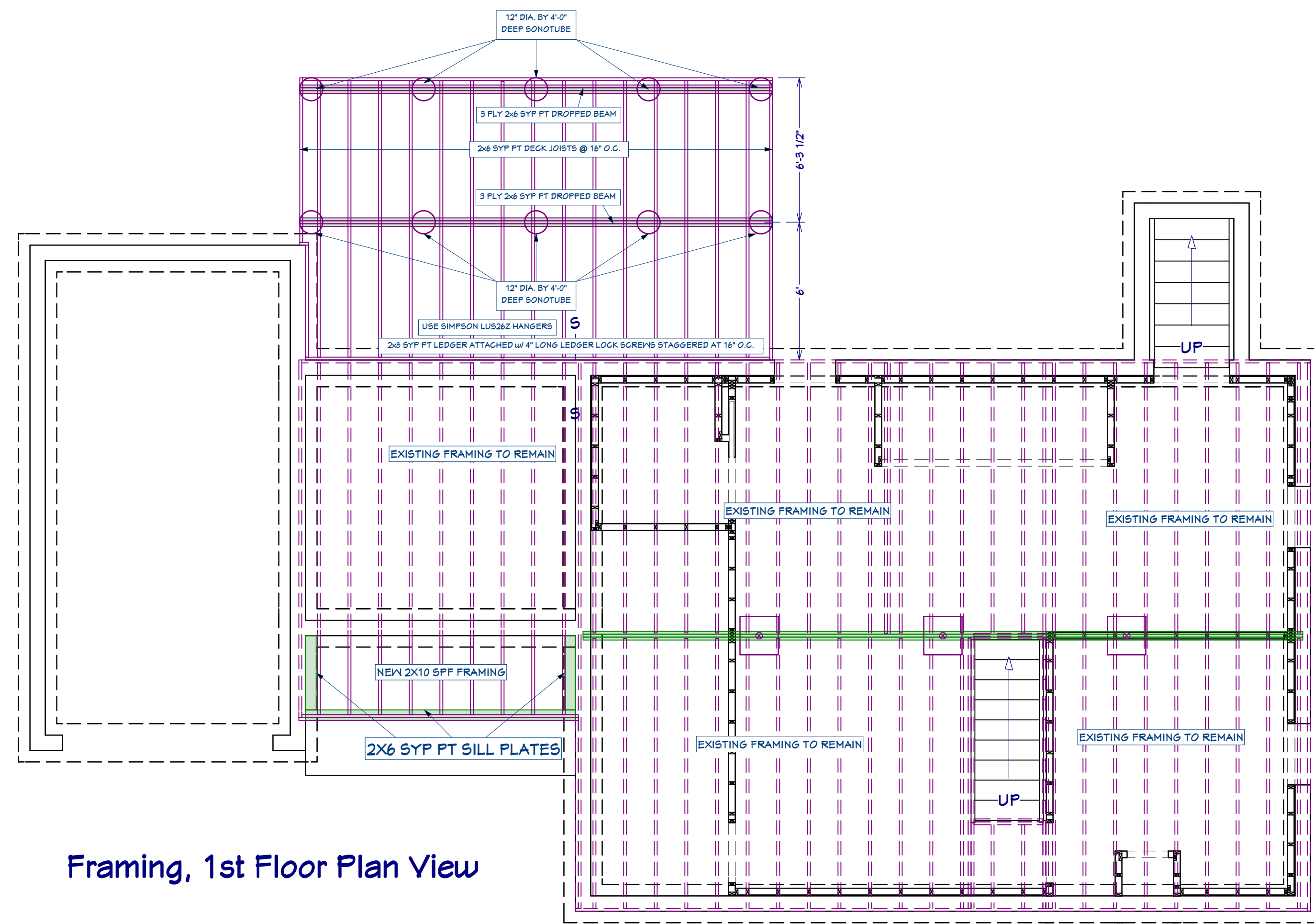
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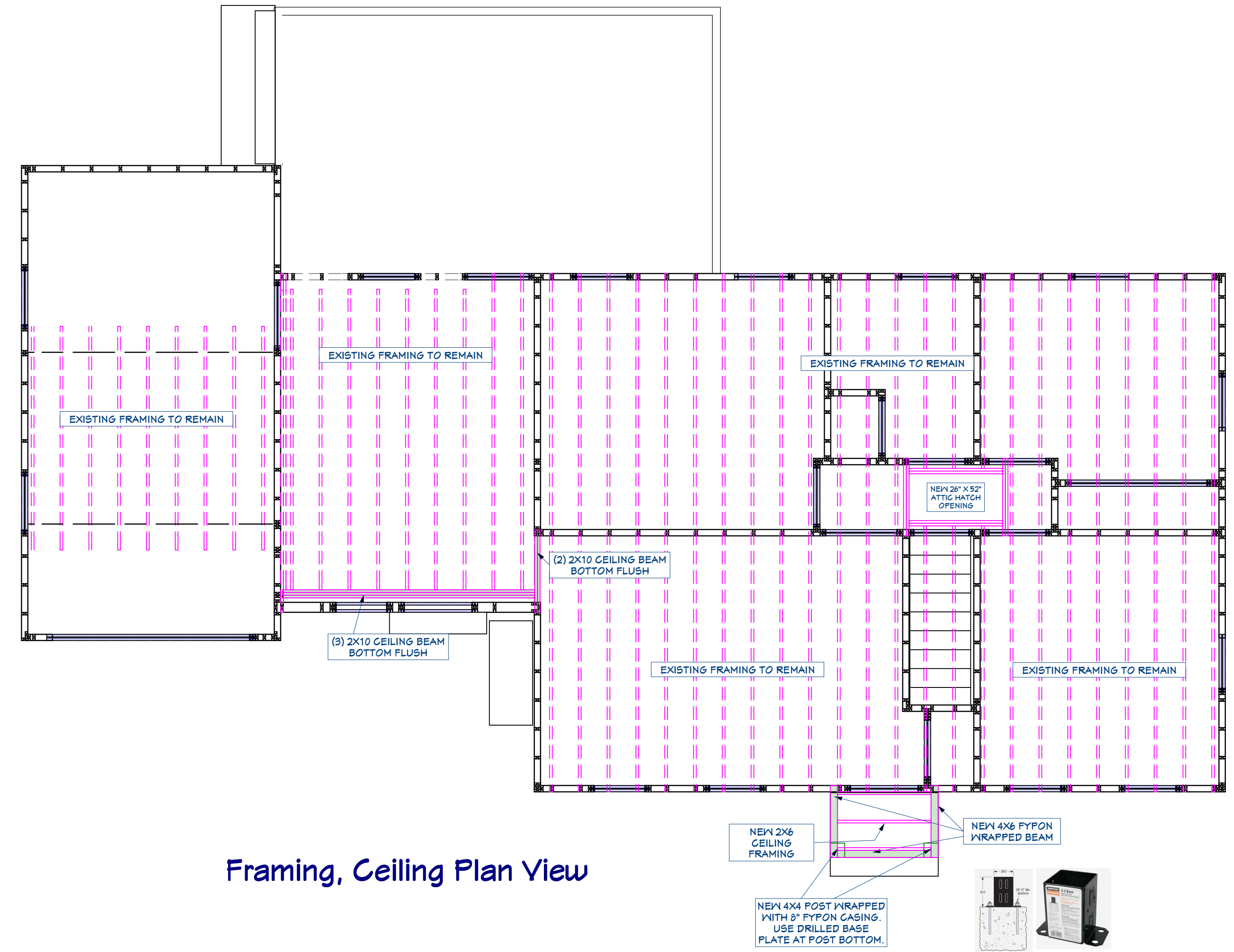
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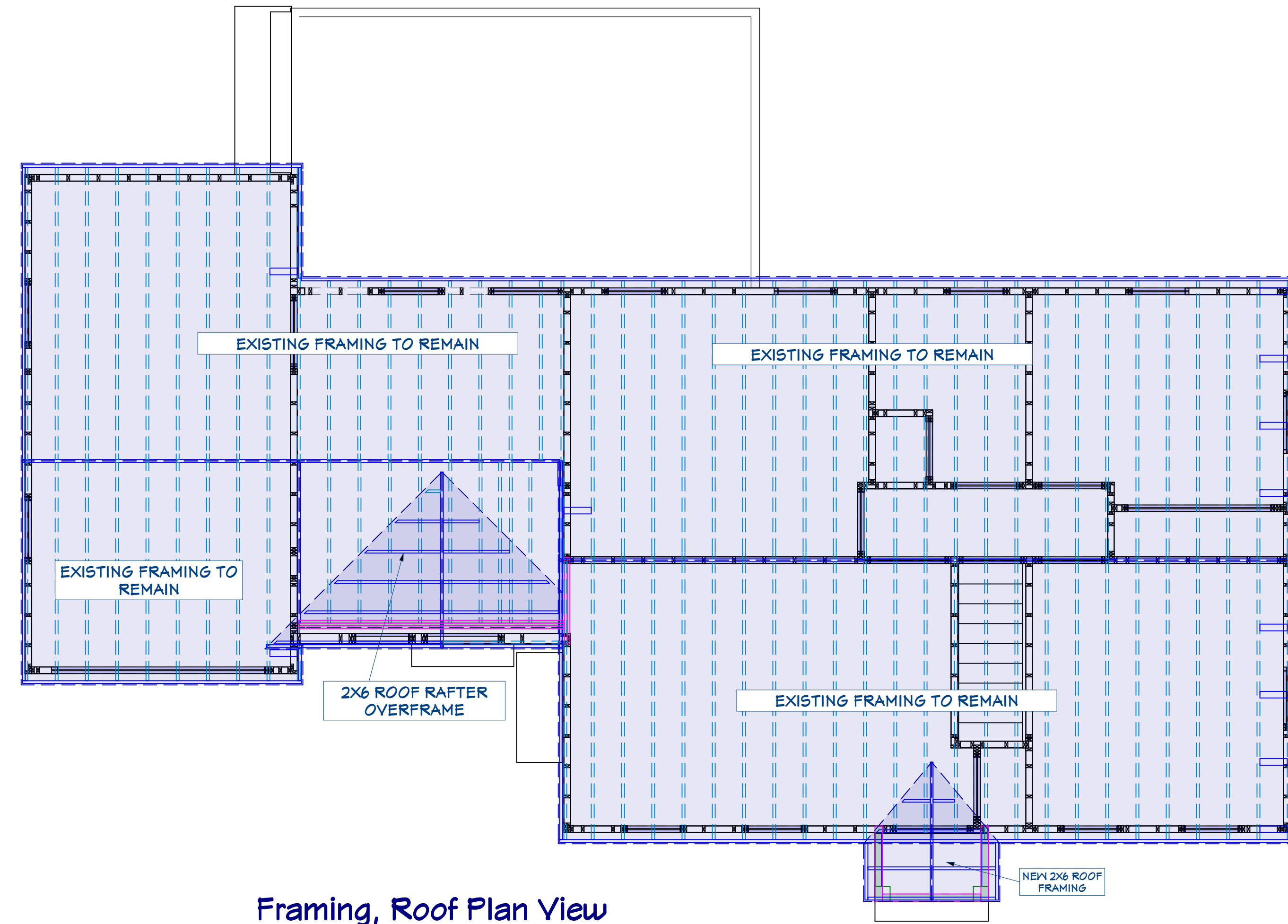
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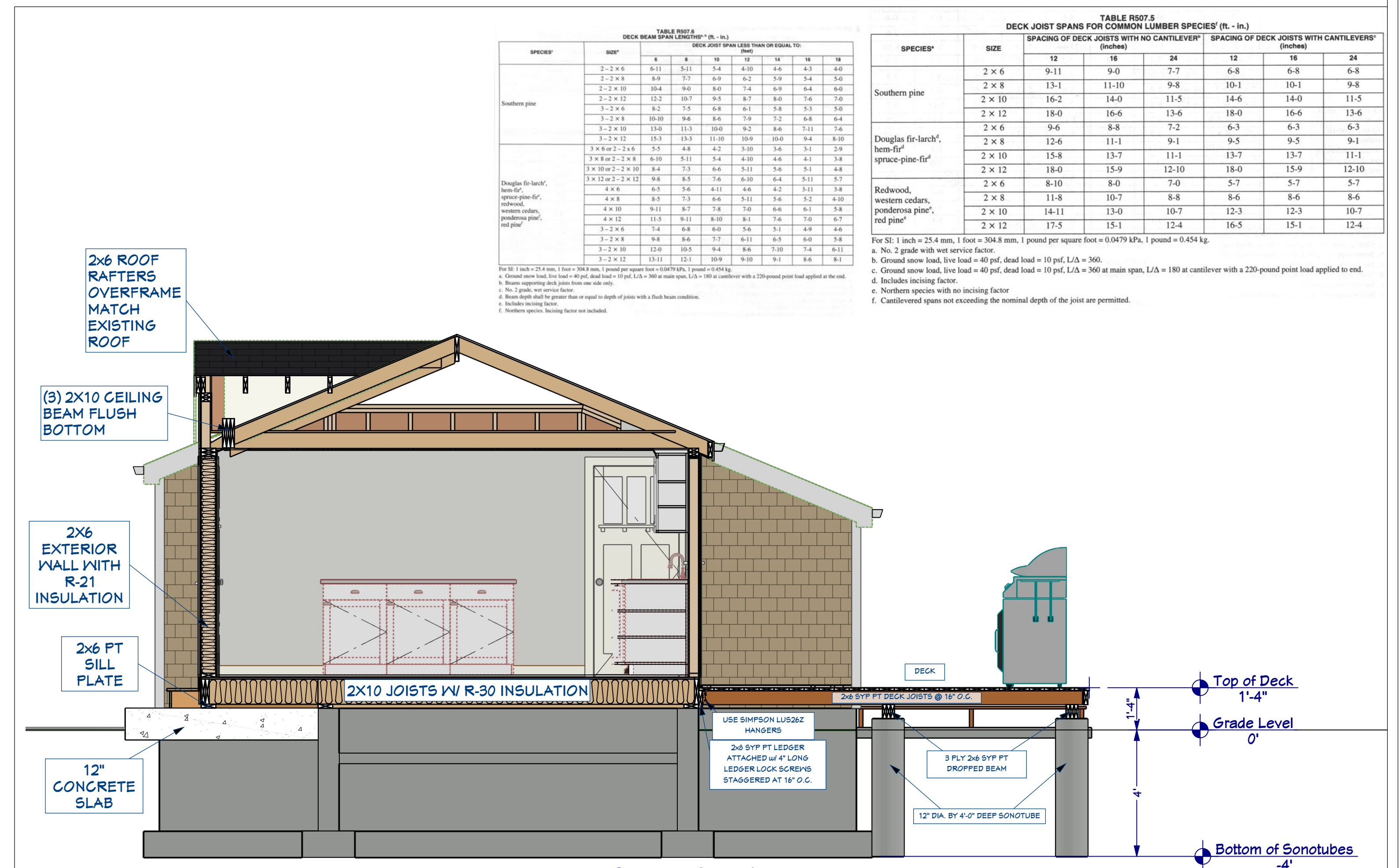
Framing, 1st Floor Plan View



Framing, Ceiling Plan View



Framing, Roof Plan View



Cross Section 1
3/8" = 1'-0"

TABLE R607.4
DECK BEAM SPAN LENGTHS^a (ft. - in.)

SPECIES ^b	SPP ^c	DECK JOIST SPAN LENGTHS ^d OR EQUAL TO: (feet)							
		4	8	12	16	18	24	30	36
Southern pine	2-2 x 8	6.11	5.21	5.4	4.0	4.4	6.3	4.0	
	2-2 x 8 S	8.4	7.1	6.9	6.2	5.9	3.4	5.0	
	2-2 x 10	10.4	9.0	8.0	7.4	6.9	6.4	6.0	
	2-2 x 12	12.2	10.7	9.7	8.7	8.0	7.4	7.0	
	3-2 x 6	6.2	5.5	6.4	6.1	5.8	5.3	5.0	

TABLE R607.5
DECK JOIST SPANS FOR COMMON LUMBER SPECIES^e (ft. - in.)

SPECIES ^b	SIZE	SPACING OF DECK JOISTS WITH NO CANTILEVERS ^f (inches)				SPACING OF DECK JOISTS WITH CANTILEVERS ^g (inches)			
		12	16	24	36	12	16	24	36
Southern pine	2 x 6	9-11	9-0	7-7	6-8	6-8	6-8		
	2 x 8	13-1	11-10	9-8	10-1	10-1	9-8		
	2 x 10	16-2	14-0	11-5	14-6	14-0	11-5		

For S1: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound per square foot = 0.0479 kPa, 1 pound = 0.454 kg.
 a. No. 2 grade with wet service factor.
 b. Ground snow load, live load = 40 psf, dead load = 10 psf, L/A = 30.
 c. Ground snow load, live load = 40 psf, dead load = 10 psf, L/A = 300 at main span, L/A = 180 at cantilever with a 220-pound point load applied at end.
 d. Includes incising factor.
 e. Northern species with no incising factor.
 f. Cantilevered spans not exceeding the nominal depth of the joist are permitted.